

warren ■
powell-richards

Southern Way, Farnham, Surrey GU9 8DF

£2,000 pcm





Property Description

Located within a stone's throw of Farnham station and the town centre is this 3 - 4 bedroom detached family home, benefitting from new carpets and a large storage shed in the rear garden.

You enter the house into a porch with doors to the sitting room and the home office/bedroom four complete with en suite w/c and hand wash basin. The sitting room is a nice size and benefits from a gas fireplace, there is then an opening through to the dining room with patio doors to the garden, plus access into the modern kitchen. Upstairs there are the main three bedrooms (two doubles and one single) plus the family bathroom.

Externally to the rear the garden is mainly a lawned area with a large storage shed, plus steps up to a raised terrace garden area. To the front is a driveway with parking for up to two cars.

Regretfully no pets, no students, no sharers.

Unfurnished and available immediately

Minimum Term - 12 Months

Council Tax Band - E

EPC Rating - C

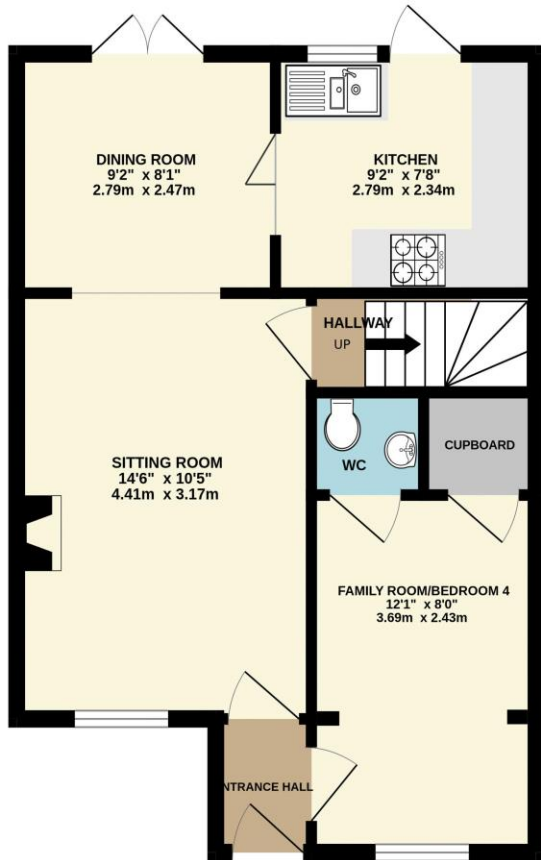
Deposit = 5 weeks rent - £2,307

First Months rent - £2,000

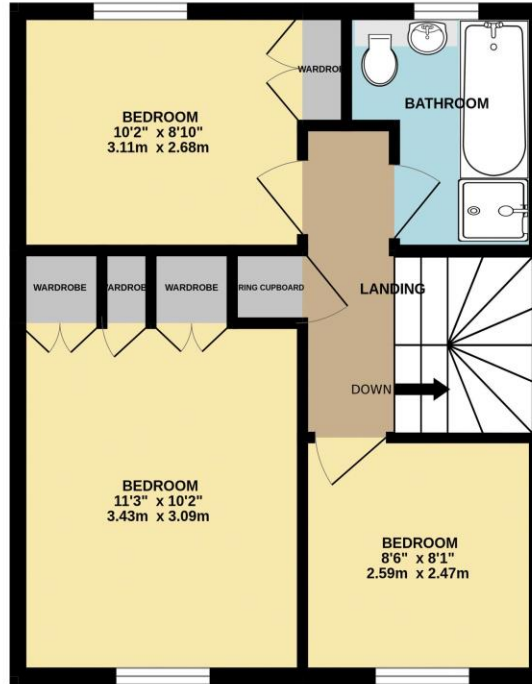
Holding deposit - £461 (will be offset against the first months rent upon move in)



GROUND FLOOR
460 sq.ft. (42.7 sq.m.) approx.



1ST FLOOR
413 sq.ft. (38.4 sq.m.) approx.



TOTAL FLOOR AREA : 873 sq.ft. (81.1 sq.m.) approx.

Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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Energy rating and score

This property's current energy rating is C. It has the potential to be B.

[See how to improve this property's energy efficiency.](#)

Score	Energy rating	Current	Potential
92+	A		
81-91	B		83 B
69-80	C	69 C	
55-68	D		
39-54	E		
21-38	F		
1-20	G		

The graph shows this property's current and potential energy rating.

These details are for guidance only and complete accuracy cannot be guaranteed. If there is at any point, which is of particular importance, verification should be obtained. They do not constitute a contract or part of a contract. All measurements are approximate. No guarantee can be given with regard to planning permissions or fitness for purpose. No apparatus, equipment, fixture or fitting has been tested. Items shown in photographs are NOT necessarily included. Interested Parties are advised to check availability and make an appointment to view before travelling to see a property.